



## Town of Huntsville Staff Report

**Meeting Date:** February 12, 2020

**To:** Development Services Committee

**Report Number:** DEV-2020-23

**Confidential:** No

**Author(s):** Elizabeth Reimer, Senior Planner

**Subject:** SPA/66/2019/HTE Florence Holding Company Florence St E

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### Report Highlights

Staff review and recommendation of Site Plan Approval Application No. SPA/66/2019/HTE.

### Recommendation

**That: the Director of Development Services APPROVE Site Plan Application SPA/66/2019/HTE;**

**And That: the agreement be prepared to the satisfaction of the Town;**

**And Further That: the Mayor and Clerk are hereby authorized to sign any necessary documentation.**

### Conditional On:

**1. All final plans and drawings being to the satisfaction of the Town and all other commenting agencies.**

### Background

**Purpose and Effect:** Through this application, the Owner is seeking approval for the site design to develop a two-building, 46-unit apartment development.

**Site Characteristics and Surrounding Uses:** The lands subject to this application consist of approximately 1.65ha in area, with 19.3m of frontage on Florence Street East. The property is currently vacant, it varies in topography, sloping down towards Main Street, and is well-vegetated. The surrounding uses are residential and commercial in nature.

**Location:** Pt Lots 11 & 12, Con 1, Chaffey, Plan 15 Pt Lots 20 & 21, Pt Blk C, RP 35R-18144, Pt 2  
**Previous/Current Files:** B/21/95/HTE

**Natural Constraints:** Slopes 20->40%

**Human Constraints:** small easterly portion of lot is within an infrastructure setback buffer area

**Official Plan:** Mixed Use Area

**Zoning:** R4-1100

**Access:** Year round maintained local road

**Servicing:** Municipal piped water and sewer

**OSRA Status:** None

**Technical Background Report(s):** Site Plan - Ground Floor, Site Plan Landscape/Lighting, Site Plan Roof Level, Site Plan Basement/Foundation, Render Angles by Wayne Simpson & Associates Inc.; Elevations by Huis Design Studio

## **Discussion**

### **Town of Huntsville Official Plan**

As this application was submitted prior to the approval of the 2019 Official Plan it must be reviewed under the policies of the 2006 Official Plan, however, the proposal appears to also meet the intent of the policies of the new Official Plan.

The subject lands are designated Main Street West Mixed Use Area in the Town's Official Plan. Section 4.10.1.2 states that development shall be oriented to residential uses. Further, the Official Plan states that multiple residential development shall be compact in nature, within the Main Street West Mixed Use Area (4.10.1.4). Additionally, Section 4.4.3 and 4.4.1 state that housing of varied sizes, densities and tenures shall be provided and the creation of dwellings is encouraged. Additionally, the Official Plan promotes intensification of areas suitable for residential development (4.4.4). As this lot is located within close proximity to amenities that support residential development the lot is an ideal for residential intensification.

### **District of Muskoka Official Plan**

The lands are included in the "Urban Centre" designation. The proposal would appear to conform to the intent of the District Official Plan.

### **Provincial Policy Statement**

The 2014 Provincial Policy Statement (PPS) applies to this proposal. The PPS indicates that settlement areas shall be the focus of growth and their vitality and regeneration shall be promoted. Land use patterns within settlement areas shall also be based on densities that efficiently use land and infrastructure. The PPS also encourages intensification and compact form. The PPS further promotes development in settlement areas on full municipal water and sewer services and in close proximity to urban amenities.

In view of the foregoing, the application would appear to conform to the intent of the Official Plan and be consistent with the Provincial Policy Statement.

### **Zoning By-law**

The property is zoned Residential Four (R4) with exception 1100, which permits a maximum development of 48 townhouses or apartment style dwellings on site. The proposed use is in keeping with the site-specific permissions, and the development appears to generally meet all of the relevant provisions of Town of Huntsville Zoning By-law 2008-66P, as amended, except where noted below.

Some minor amendments to the site plan are required, including relocating the garbage enclosure proposed to be located between the building and the front lot line, providing a loading space on site, and ensuring consistency between information provided throughout the set of plans.

### *Parking*

Confirmation on the functionality of some of the parking spaces within the underground parking structure is required. The surface barrier-free parking spaces should have direct sidewalk access to the main entrances of the buildings. Parking spaces should be dimensioned, and the required 20% of larger (3mx6m) spaces should be delineated to ensure compliance.

### *Elevations*

No concerns.

### *Lighting Plan*

A lighting plan showing exterior lighting locations, specifications on the fixtures proposed, as well as footcandle projections for any stand alone lighting (ie pole lighting) is required to be provided.

### *Landscape Plans*

The plans do not appear to show any detailed distinctive plantings proposed. Staff encourage the applicant to provide additional landscaping than sod internal to the development. The garbage enclosures also appear to be within landscaped areas.

### *Site Servicing, Grading and Stormwater Management*

Comments are forthcoming from the District of Muskoka Engineering and Public Works Department as well as the Town's Operations Department.

### **Next Steps**

It is not anticipated that the above noted outstanding comments will significantly alter the site design as currently proposed, and as such staff are recommending approval of this application, subject to conditions.

The proposal for the site plan agreement would appear to facilitate development that would conform to the intent of the Official Plan and be consistent with the Provincial Policy Statement.

### **Options**

Committee could recommend denial of the application; however, that is not recommended, as it would appear to conform to the intent of the Official Plan and be consistent with the Provincial Policy Statement.

### **Council Strategic Direction / Relevant Policies / Legislation / Resolutions**

#### **Strategic Plan**

Natural Environment & Sustainability Goal 2.2: Integrate sustainability principles into planning & development policies and processes.

Communications Goal 1.4: Awareness - to increase awareness of Town Services and events.

Communications Goal 2.1: Community engagement - increase opportunities for public engagement.

## Unity Plan

### Economic Considerations

Goal 11: Economic Development: Huntsville will promote a diverse and prosperous economy by attracting innovation, growing a knowledge-based economy, providing adequate training, developing green jobs, and offering sustainable year round employment to retain Huntsville's youth.

### Social Considerations

Goal 6: Social well-being: The community will encourage and support social diversity and personal sense of well-being by improving accessibility, promoting volunteerism, striving to reduce poverty, and maintaining a healthy, safe, friendly community to live, work, and play for all ages, cultures and abilities.

### Environmental Considerations

Goal 1: Environmental Protection: The community will protect, preserve, restore, and enhance the terrestrial and aquatic environments and biodiversity of Huntsville and surrounding area by being responsible stewards of the environment.

### Relevant Policies/Legislation/Resolutions

Provincial Policy Statements

Planning Act, R.S.O. 1990, cP.13

District of Muskoka Official Plan

Town of Huntsville Official Plan

Zoning By-law 2008-66P, as amended

Delegation of authority by-law 2019-106

### Attachments

[Attachment #1: Site Plan](#)

[Attachment #2: Landscape/Lighting Plan](#)

[Attachment #3: Roof Plan](#)

[Attachment #4: Basement Plan](#)

[Attachment #5: Renderings](#)

[Attachment #6: Elevations](#)

[Attachment #7: Site Photos](#)

### Consultations

The application was circulated in accordance with the provisions of the Planning Act.

**Respectfully Submitted:** Elizabeth Reimer, Senior Planner

**Manager Approval (if required):** \_\_\_\_\_

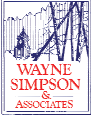
**Director Approval:** Kirstin Maxwell, Director of Development Services

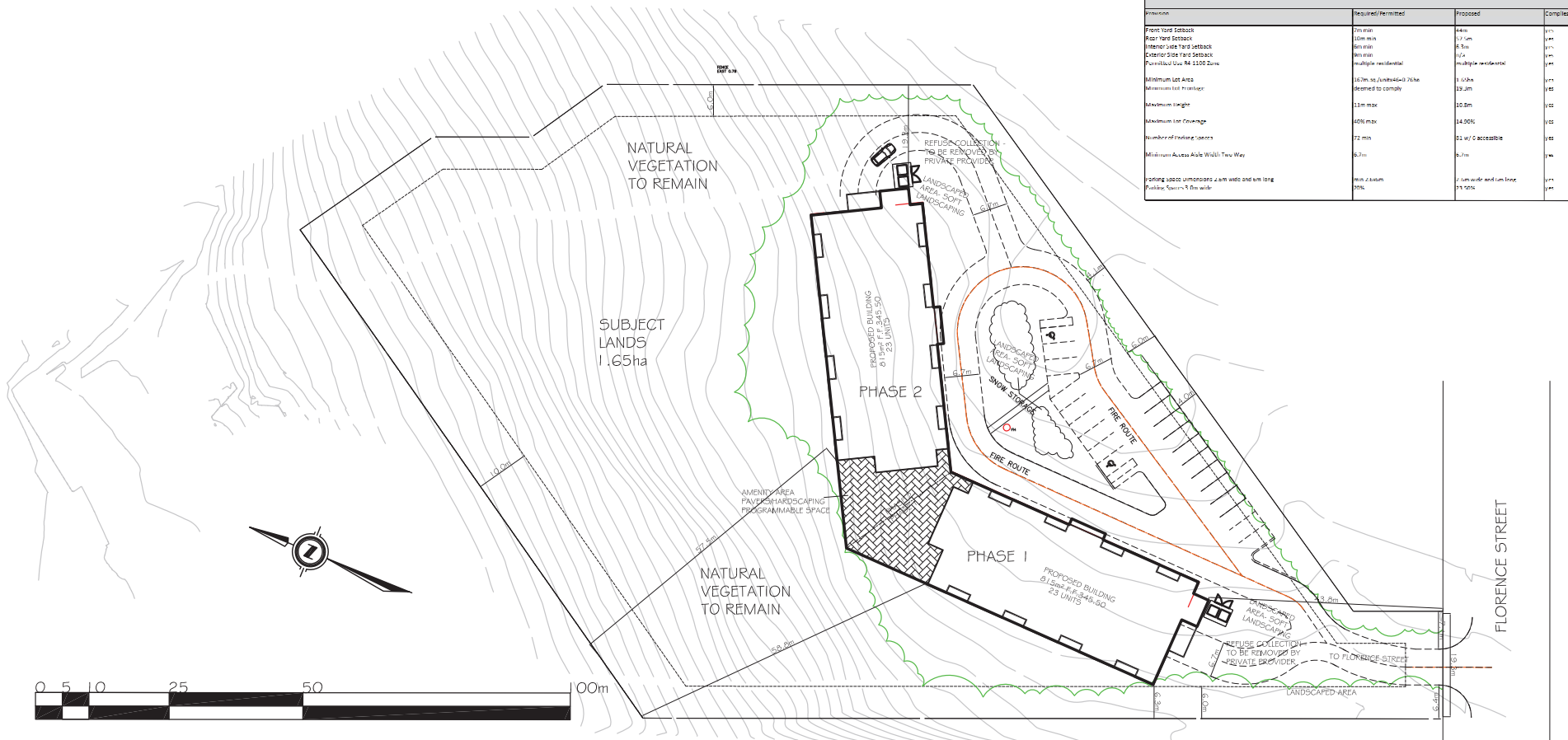


**CAO Approval:**

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# Attachment #1: Site Plan

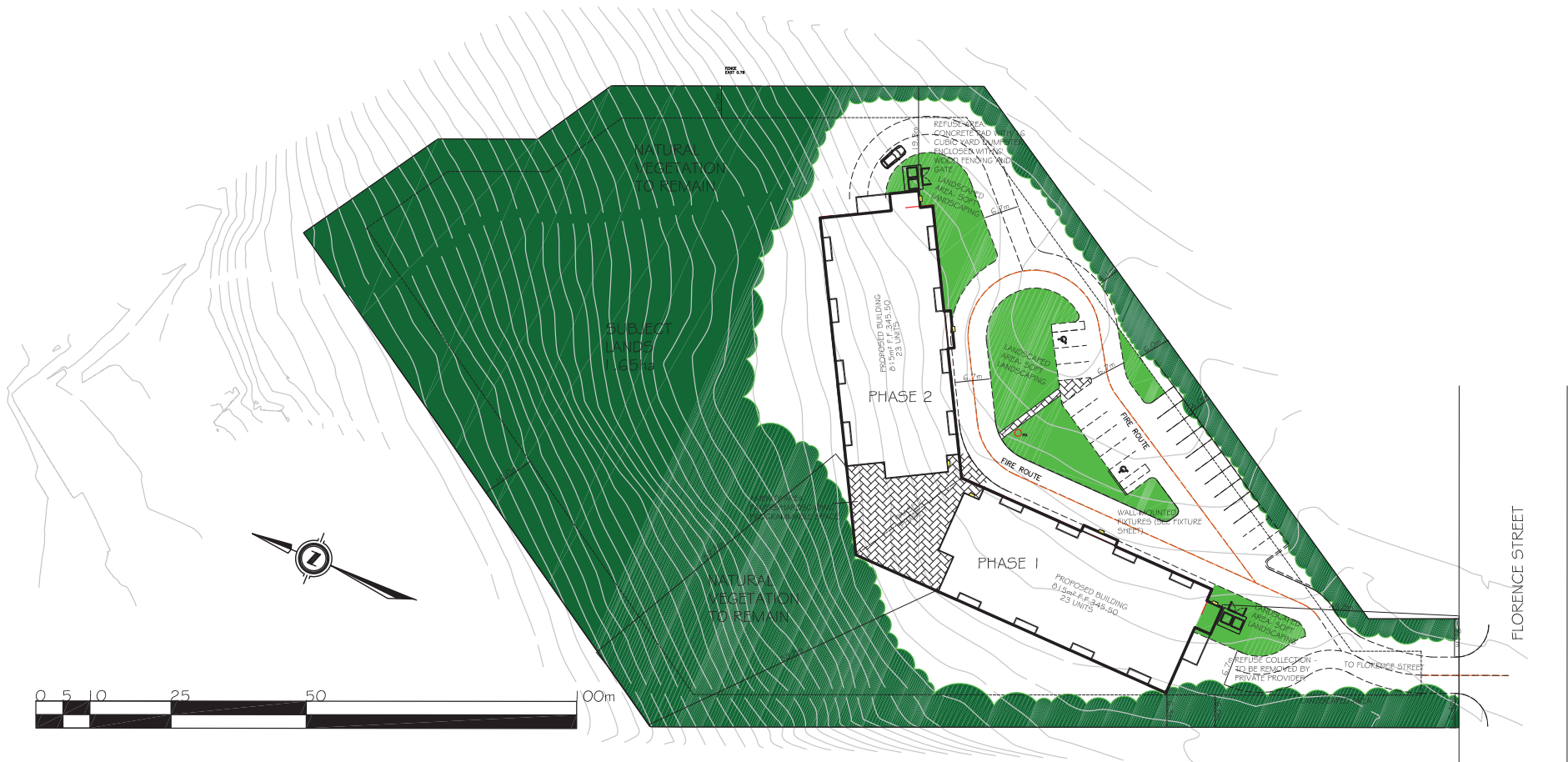
PROJECT: <b>SITE PLAN GROUND FLOOR</b>	LEGAL DESCRIPTION: PART OF LOT 12, CONCESSION 1 FORMER TOWNSHIP OF CHAFFEY TOWN OF HUNTSVILLE DISTRICT MUNICIPALITY OF MUSKOKA PART 2, 35R-18144	 <b>WAYNE SIMPSON &amp; ASSOCIATES</b> PLANNING AND DEVELOPMENT CONSULTANTS 3-76 KING WILLIAM STREET HUNTSVILLE, ONTARIO P1H 1E4 TEL: (705) 789-9092 FAX: (705) 789-9094 info@wsplanning.ca	DATE: FEBRUARY 20, 2019
			SCALE: METRIC
CLIENT: MATERSKI FLORENCE	LOCATION: FLORENCE STREET, HUNTSVILLE	WSA FILE No.: 1756	REVISION No.: 1
			FILE NAME: FLORENCE SITE PLAN.dwg




Provision	Required/Permitted	Proposed	Complies
Front Yard Setback	7m min	4m	yes
Rear Yard Setback	10m min	5.5m	yes
Interior Side Yard Setback	8m min	8.5m	yes
Exterior Side Yard Setback	8m min	n/a	yes
Permitted Use R4 1100 Zone	multiple residential	multiple residential	yes
Minimum Lot Area	167m <sup>2</sup> (0.044627ha)	1.0ha	yes
Minimum Lot Privilege	deemed to comply	19.0m	yes
Maximum Height	13m max	10.8m	yes
Maximum Lot Coverage	40% max	14.0%	yes
Number of Dwelling Units	12 min	21 w/ C accessible	yes
Minimum Access Aisle Width Two Way	6.7m	6.7m	yes
Loading Space (minimum 1.5m wide and 6m long)	min 2.4x6m	1.5m wide and 6m long	yes
Parking Spaces 9.0m wide	9.0m	9.1m	yes

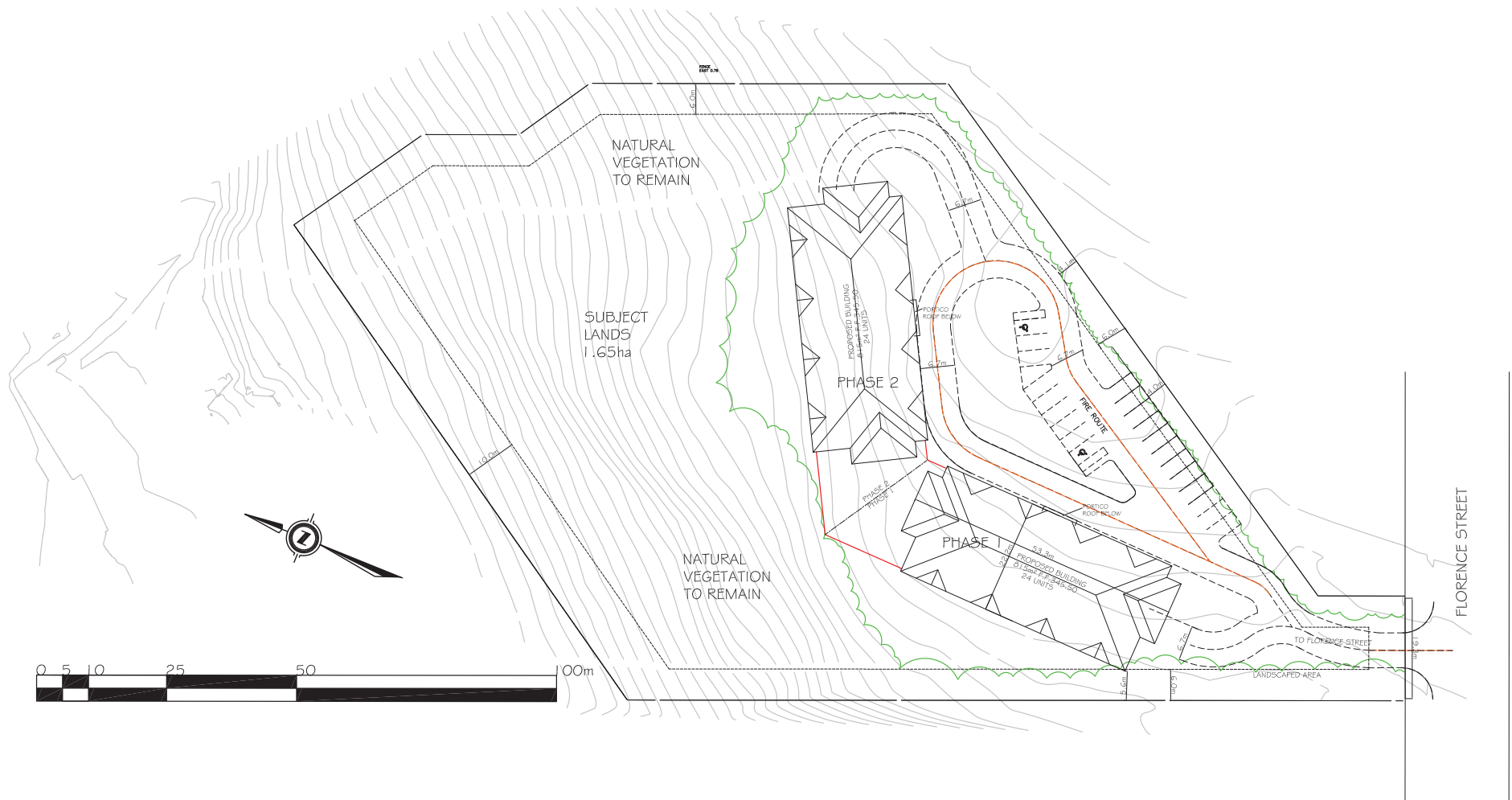
# Attachment #2: Landscape/Lighting Plan

<b>PROJECT:</b> SITE PLAN LANDSCAPE/LIGHTING	<b>LEGAL DESCRIPTION:</b> PART OF LOT 12, CONCESSION 1 FORMER TOWNSHIP OF CHAFFEY TOWN OF HUNTSVILLE DISTRICT MUNICIPALITY OF MUSKOKA PART 2, 35R-18144	 <b>WAYNE SIMPSON &amp; ASSOCIATES</b> PLANNING AND DEVELOPMENT CONSULTANTS 3-76 KING WILLIAM STREET HUNTSVILLE, ONTARIO P1H 1E4 TEL: (705) 789-9092 FAX: (705) 789-9094 info@wsaplaning.ca	<b>DATE:</b> FEBRUARY 20, 2019
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			<b>REVISION No.:</b> 1
			<b>FILE NAME:</b> FLORENCESITEPLAN.dwg




# Attachment #3: Roof Level Plan

<p>PROJECT:</p> <p style="text-align: center;">SITE PLAN ROOF LEVEL</p>	<p>LEGAL DESCRIPTION:</p> <p style="text-align: center;">PART OF LOT 12, CONCESSION 1 FORMER TOWNSHIP OF CHAFFEY TOWN OF HUNTSVILLE DISTRICT MUNICIPALITY OF MUSKOKA PART 2, 35R-18144</p>	 <p>WAYNE SIMPSON &amp; ASSOCIATES PLANNING AND DEVELOPMENT CONSULTANTS</p> <p>3-76 KING WILLIAM STREET HUNTSVILLE, ONTARIO P1H 1E4 TEL: (705) 789-9092 FAX: (705) 789-9094 info@wsaplanning.ca</p>	<p>DATE:</p> <p style="text-align: right;">FEBRUARY 20, 2019</p>
<p>CLIENT:</p> <p>MATERSKI FLORENCE</p>	<p>LOCATION:</p> <p>FLORENCE STREET, HUNTSVILLE</p>	<p>WSA FILE No.:</p> <p style="text-align: center;">1756</p>	<p>SCALE:</p> <p style="text-align: right;">METRIC</p>
			<p>REVISION No.:</p> <p style="text-align: right;">1</p>
			<p>FILE NAME:</p> <p style="text-align: right;">FLORENCE SITE PLAN.dwg</p>



# Attachment #4: Basement/Foundation Plan

PROJECT: SITE PLAN BASEMENT/FOUNDATION	LEGAL DESCRIPTION: PART OF LOT 12, CONCESSION 1 FORMER TOWNSHIP OF CHAFFEY TOWN OF HUNTSVILLE DISTRICT MUNICIPALITY OF MUSKOKA PART 2, 35R-18144	 WAYNE SIMPSON & ASSOCIATES PLANNING AND DEVELOPMENT CONSULTANTS 3-76 KING WILLIAM STREET HUNTSVILLE, ONTARIO P1H 1E4 TEL: (705) 789-9092 FAX: (705) 789-9094 info@wsaplanning.ca	DATE: FEBRUARY 20, 2019
CLIENT: MATERSKI FLORENCE	LOCATION: FLORENCE STREET, HUNTSVILLE	WSA FILE No.: 1756	SCALE: METRIC
			REVISION No.: 1
			FILE NAME: FLORENCE SITE PLAN.dwg







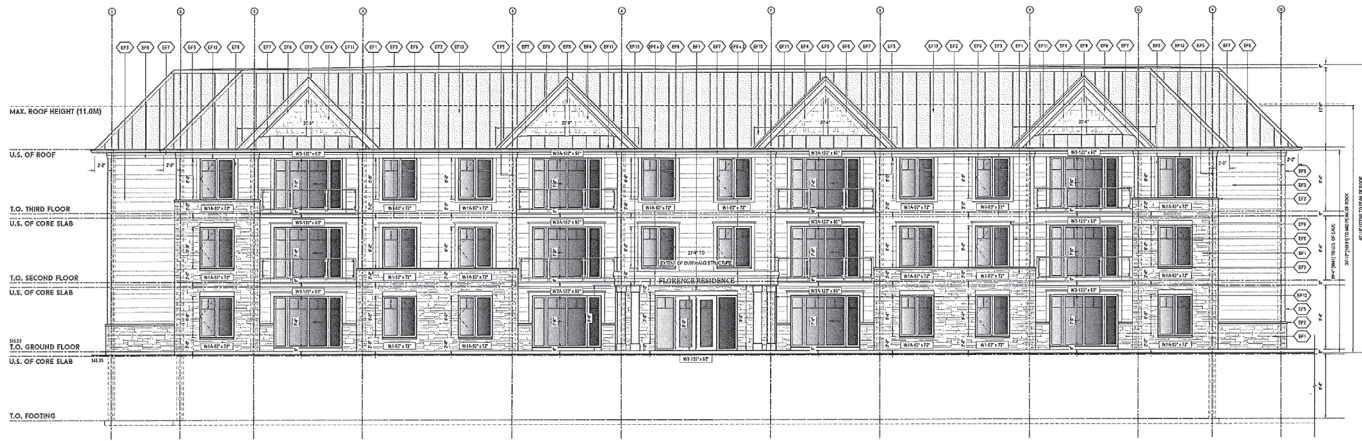






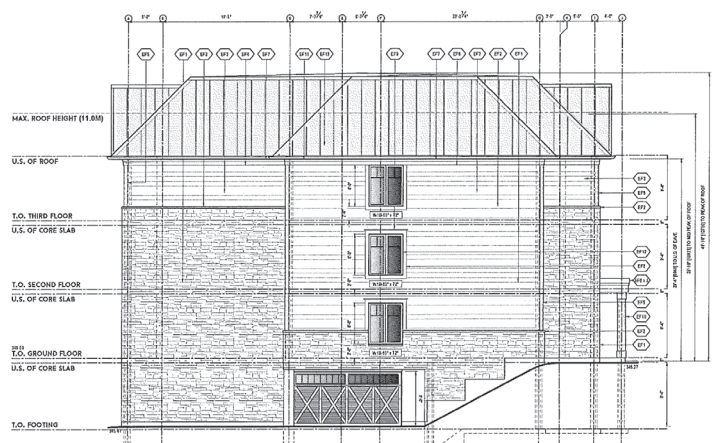


# Attachment #6: Elevations

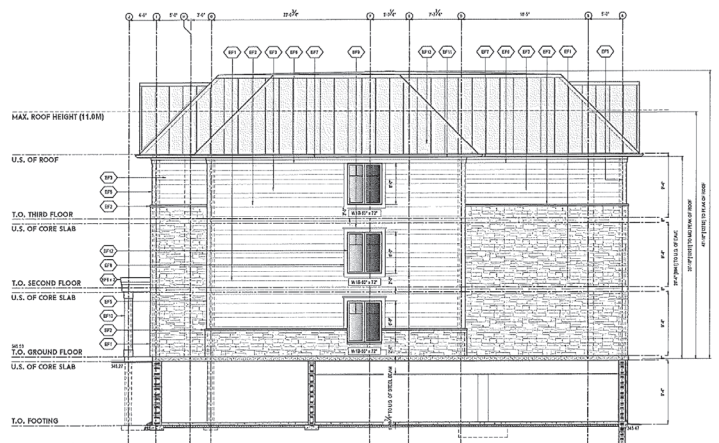


STRUCTURAL LEGEND	
①	SIDE-UP STAIR - FORMAL COLLECTION POSSIBLE BARS
②	PRECAST STONE CLIP
③	JAMB WIDE - WIDE PANELS OF STONE-GRAY PLASTER (CONCRETE)
④	JAMB WIDE - WIDE PANELS - FINE GRAY
⑤	JAMB WIDE - INTERIOR - WHITE GRAY 14 FLOOR SLAB OF CONCRETE/FORM
⑥	JAMB WIDE - INTERIOR - WHITE GRAY 14 FLOOR SLAB OF FINE GRAY
⑦	JAMB WIDE - INTERIOR - WHITE GRAY 14 FLOOR SLAB OF FINE GRAY/STONE
⑧	JAMB WIDE - INTERIOR - WHITE GRAY 14 FLOOR SLAB OF FINE GRAY/STONE
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01-FRONT ELEVATION



02-LEFT ELEVATION

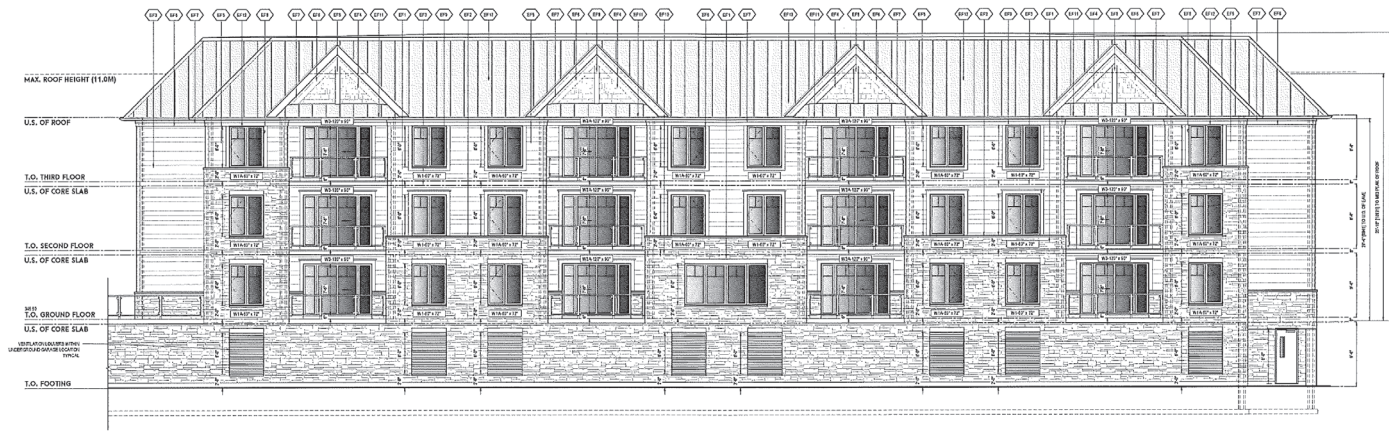


03-RIGHT ELEVATION



<b>IUIS</b> DESIGN STUDIO <small>ARCHITECTURE INTERIOR DESIGN LANDSCAPE ARCHITECTURE PLANNING &amp; CONSULTING</small>	<small>GENERAL NOTES</small> 1. DRAWINGS ARE TO BE PRINTED ON 24" x 36" ARCHITECTURAL PAPER. 2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED. 3. FINISHES AND MATERIALS SHALL BE AS SHOWN ON THE DRAWINGS. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.	<small>REVISIONS</small> 1. REVISED FOR PERMITS 2. REVISED FOR PERMITS 3. REVISED FOR PERMITS 4. REVISED FOR PERMITS 5. REVISED FOR PERMITS 6. REVISED FOR PERMITS 7. REVISED FOR PERMITS 8. REVISED FOR PERMITS 9. REVISED FOR PERMITS 10. REVISED FOR PERMITS	<small>PROJECT DATA</small> PROJECT NO. 2101-03 PROJECT NAME. 2101-03 SHEET NO. 01	<small>DATE</small> 15 DEC 2010 15 DEC 2010 15 DEC 2010 15 DEC 2010 15 DEC 2010 15 DEC 2010 15 DEC 2010 15 DEC 2010 15 DEC 2010 15 DEC 2010	<small>SCALE</small> 1:50 1:50 1:50 1:50 1:50 1:50 1:50 1:50 1:50 1:50	<small>PROJECT TYPE</small> APARTMENT BUILDING PROJECT NO. 2101-03 SHEET NO. 01
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STRUCTURAL LEGEND	
①	STONE AG STONE - SPANAL COLLECTION FINISHING BRICK
②	FINISHING BRICK BL. ST.
③	FINISHING BRICK - HONEY COMB FINISH - 1/2" x 4" x 8" (SEE SPECIFICATIONS)
④	FINISHING BRICK - HONEY COMB FINISH - 1/2" x 4" x 8" (SEE SPECIFICATIONS)
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01-REAR ELEVATION



<b>IUIS</b> DESIGN STUDIO <small>1000 W. 10TH AVENUE, SUITE 1000 DENVER, CO 80202 TEL: 303.733.1111 WWW.IUISDESIGNSTUDIO.COM</small>	<b>GENERAL NOTES</b> 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 2. FINISHES ARE TO BE AS SHOWN IN THE FINISH SCHEDULE. 3. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. 6. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES. 8. ALL MATERIALS SHALL BE STORED PROPERLY ON THE SITE. 9. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY SITE AT ALL TIMES. 10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. 12. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. 13. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION. 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES. 15. ALL MATERIALS SHALL BE STORED PROPERLY ON THE SITE. 16. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY SITE AT ALL TIMES. 17. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.	<b>REVISIONS</b> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>01/15/20</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>02/10/20</td> <td>REVISED PER ARCHITECT COMMENTS</td> </tr> <tr> <td>3</td> <td>03/05/20</td> <td>REVISED PER ARCHITECT COMMENTS</td> </tr> <tr> <td>4</td> <td>04/01/20</td> <td>REVISED PER ARCHITECT COMMENTS</td> </tr> <tr> <td>5</td> <td>05/01/20</td> <td>REVISED PER ARCHITECT COMMENTS</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	01/15/20	ISSUED FOR PERMIT	2	02/10/20	REVISED PER ARCHITECT COMMENTS	3	03/05/20	REVISED PER ARCHITECT COMMENTS	4	04/01/20	REVISED PER ARCHITECT COMMENTS	5	05/01/20	REVISED PER ARCHITECT COMMENTS	<b>PROJECT INFORMATION</b> <table border="1"> <tr> <td>PROJECT NO.</td> <td>1000 W. 10TH AVENUE</td> </tr> <tr> <td>CLIENT</td> <td>1000 W. 10TH AVENUE</td> </tr> <tr> <td>ARCHITECT</td> <td>IUIS DESIGN STUDIO</td> </tr> <tr> <td>DATE</td> <td>01/15/20</td> </tr> <tr> <td>SCALE</td> <td>AS SHOWN</td> </tr> <tr> <td>PROJECT LOCATION</td> <td>1000 W. 10TH AVENUE, DENVER, CO</td> </tr> <tr> <td>PROJECT NO.</td> <td>1000 W. 10TH AVENUE</td> </tr> <tr> <td>CLIENT</td> <td>1000 W. 10TH AVENUE</td> </tr> <tr> <td>ARCHITECT</td> <td>IUIS DESIGN STUDIO</td> </tr> <tr> <td>DATE</td> <td>01/15/20</td> </tr> <tr> <td>SCALE</td> <td>AS SHOWN</td> </tr> <tr> <td>PROJECT LOCATION</td> <td>1000 W. 10TH AVENUE, DENVER, CO</td> </tr> </table>	PROJECT NO.	1000 W. 10TH AVENUE	CLIENT	1000 W. 10TH AVENUE	ARCHITECT	IUIS DESIGN STUDIO	DATE	01/15/20	SCALE	AS SHOWN	PROJECT LOCATION	1000 W. 10TH AVENUE, DENVER, CO	PROJECT NO.	1000 W. 10TH AVENUE	CLIENT	1000 W. 10TH AVENUE	ARCHITECT	IUIS DESIGN STUDIO	DATE	01/15/20	SCALE	AS SHOWN	PROJECT LOCATION	1000 W. 10TH AVENUE, DENVER, CO	<b>PROJECT NAME</b> THE BARN <b>PROJECT NO.</b> 1000 W. 10TH AVENUE <b>CLIENT</b> 1000 W. 10TH AVENUE <b>ARCHITECT</b> IUIS DESIGN STUDIO <b>DATE</b> 01/15/20 <b>SCALE</b> AS SHOWN <b>PROJECT LOCATION</b> 1000 W. 10TH AVENUE, DENVER, CO
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**Attachment #7: Site Photos**





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